

TDA
architects
LLC

125 West Columbus Street
Dadeville, Alabama 36853



HVAC Installation
One Bedroom Apartments - Parkwin and Washington Homes
Anniston Housing Authority
Anniston, Alabama

Revision Table	
Number	Date

Title Sheet

TDA 446

DATE:
2/8/2021

SHEET:

T1

HVAC Installation

One Bedroom Apartments

Parkwin and Washington Homes

Anniston Housing Authority
Anniston, Alabama

Willie B. McMahand, Jr., Executive Director

GENERAL NOTES

1. CONTRACTUAL OBLIGATION:

The GC shall abide by and be responsible for all requirements stated in the General Conditions unless noted otherwise.

2. GENERAL CONDITIONS:

The GC shall provide all labor, material, equipment, tools, utilities, insurance, transportation, and pay for all required taxes, permits, and services required to complete the entire scope of work, whether temporary or permanent. All materials except temporary forms are to be new, unused and of the specified quality. The GC shall maintain the project site in a clean and orderly fashion. Tools and equipment shall be secured, and all debris shall be removed daily. The GC shall maintain a visitors log. All visitors shall be required to sign such log. Dates and times of entering and exiting the site for all visitors shall be noted. GC to secure project site from unauthorized entry at all times. Coordinate location of barricades or temporary fencing with the documents and owner. The GC shall photograph the project site and existing conditions prior to the beginning of the work. Photographs shall be taken of the progress of the work at intervals no greater than 7 calendar days. Photographs shall be in color and identified by date and time of day. Maintain digital photograph file onsite. Deliver completed file to the architect upon receipt of use and occupancy permit. The GC shall maintain an on site staging area and shall keep the agency approved construction documents, all licensing information, visitors log, photograph file, and at least one set of reproducible construction documents, to be marked concurrently with the construction, to record actual conditions of the construction and device installations. Deliver completed reproducible record set to the architect upon completion of the project. GC to remove and dispose of all waste and debris from project site in a legal manner. Upon completion of the work, provide professional cleaning service to clean the project site, interior and exterior, for final occupancy.

3. GRAPHICS:

Existing construction (partitions, doors, plumbing fixtures, casework, equipment, etc.) is indicated on the floor plans, with lines in a lighter shade (screened). Existing walls to remain are poched. New construction is indicated by full intensity (solid) lines. Items to be demolished are indicated in light finely dashed lines.

4. INTERPRETATION:

The architect is solely responsible for the design interpretation of the construction documents.

5. DOCUMENT DISCREPANCIES:

Whenever there are discrepancies in the contract documents, the contractor shall base his bid upon the better quality or greater quantity of the material or work described.

6. DRAWING SCALE:

The contractor shall not scale drawings.

7. FIELD CONDITIONS:

The contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements, conditions, and other information known to the contractor with the contract documents before commencing activities. Errors, inconsistencies, or omissions discovered shall be reported to the architect at once. No allowance will be made on behalf of the contractor or subcontractors for failure to visit the site.

8. CONSTRUCTION MEANS...PROCEDURES:

The general contractor shall supervise and direct the work, using the contractor's best skill and attention. The contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures and for coordinating all portions of work under the contract, unless contract documents give other specific instructions concerning these matters. Any work that must be removed or relocated due to lack of coordination of the trades is solely the contractor's responsibility. The contractor shall maintain a secure site throughout the construction process.

9. BUILDING SYSTEMS:

The GC shall coordinate the location and installation of all building systems and equipment. The GC shall coordinate all building trades to assure all required clearances for operation and maintenance of all equipment and systems as required by code, these documents, or manufacturer's recommendations are met or exceeded. Lack of specific details shall not be an excuse for improper installation of any material, device, or system. Where details are not provided, the GC shall refer to the printed manufacturer's recommendations for installation guidelines. All installed systems and devices are to operate quietly and without excessive vibration. This includes but is not limited to the following systems; mechanical, electrical, lighting, plumbing, and telephone equipment.

10. CLEARANCES:

The contractor shall coordinate with all building trades involved in the project for preparation of composite shop drawings for each floor to insure proper clearances for fixtures, ducts, ceilings, etc, while maintaining the specified ceiling heights noted on the drawings. Clarify any conflicts with architect.

11. LOCATIONS:

Electrical panels, telephone equipment, fire extinguishers, fire pulls, lights/horns, smoke detectors, thermostats, etc, shall be located in accordance with requirements of governing agencies. Any location not specifically shown shall be verified with architect prior to rough-out and installation. Unless otherwise noted, the above panels and/or equipment shall be fully recessed & shall maintain the integrity of wall fire rating requirements.

12. GOVERNING AGENCIES:

The GC and all of his forces shall comply with all regulations by any governing agency with jurisdiction over the project or project site.

13. PERMITS/INSPECTIONS:

Unless otherwise provided in the contract documents, the contractor shall secure and pay for the building permit and other permits and governmental fees, licenses and inspections necessary for proper execution and completion of work. The contractor shall comply with and give notices required by laws, ordinances, rules, regulations, and lawful orders of public authorities bearing on performance of the work. Upon completion of the work, the contractor shall obtain a use and occupancy permit as required from the governing codes. Submit one copy of the permit to the owner with final application of payment.

14. LIFESAFETY TESTING:

The GC shall provide the owner and the local fire department written notice 96 hours in advance of any life safety system shut down or testing. The GC shall telephone the fire department immediately prior to such testing or shut down to inform them of the exact time of the anticipated alarm condition. the GC shall notify the fire department immediately upon completion of the test or shut down to establish emergency response to alarm conditions.

15. DOORS:

Undercutting of doors shall be done in accordance with NFPA 80 (current issue) table 1-11.4.

16. BLOCKING:

Provide wood blocking in partitions behind all wall hung or wall mounted accessories, equipment, millwork, shelving, or other devices.

17. TOXIC MATERIAL:

In the event the contractor encounters on the site material reasonably believed to be asbestos, polychlorinated biphenyl (PCB) or other toxic material, which has not been rendered harmless, the contractor shall immediately stop work in the area affected, seal off the perimeter, and report the condition to the owner and architect in writing. no new building material shall contain asbestos, polychlorinated biphenyl (PCB) or other toxic material as defined by state and federal regulatory agencies.

18. PARTITIONS:

Partitions extending to the structure above shall be tightly sealed. The integrity of rated assemblies and smoke barriers shall be maintained at corners and intersections of lower priority partitions. All horizontal and vertical fire and/or smoke barriers, including all floor structures, shall be continuous from outside wall to outside wall, from one barrier to another, or combination thereof. Barriers must be continuous through concealed spaces and interstitial spaces. Seal completely all openings with UL (or other testing agency) approved assemblies where fire barriers are penetrated or abut other fire barriers, exterior walls, and floors above and below barrier. All fire barriers are to be constructed according to the testing laboratory specifications. All smoke barriers shall be a minimum of 1-hour fire resistant construction. Corridor partitions, smoke stop partitions, horizontal exit partitions, exit enclosures, and all fire rated walls shall be permanently identified with stenciling. Such identification shall be above any decorative ceiling and in concealed spaces. Stenciling to be in red letters, no less than 4" tall with a red band extending the length of the partition. Stenciled identification to read "(x) hour rated fire and/or smoke barrier, protect all openings". Stenciled identification to be positioned to be readily visible from both sides of the barrier and such that from any access point at least one identification marker may be read.

19. PENETRATIONS:

Penetrations of pipes, tubes, conduit, wires, cables, ducts, vents, cabinets, lighting, and other fixtures through fire rated assemblies shall be installed and protected to maintain fire rating.

20. PROTECTION OF FLOOR SURFACES:

Contractor shall provide adequate protection for all finished floor surfaces, existing or new including but not limited to, ceramic tile, vinyl tile, concrete, etc., throughout the construction period.

21. COMMUNICATION EQUIPMENT:

The GC shall coordinate the work he is responsible for with the owner's communication service providers. Coordinate the location of all system controls with the electrical system installer, the owner, and the architect prior to installation. Owner's communication provider to assure that juxtaposing of electrical and data lines will not result in interference, static, or in any other way disrupt the normal function of the data/communication system(s).

22. SUBSTRATE PREPARATIONS:

All substrates shall be properly prepared before application of finishes. Prepare substrate in accordance with finish manufacturer's recommendations. Contractor shall assume responsibility for substrate conditions where finishes are applied.

23. DIMENSION STANDARDS:

Dimensions are not adjustable unless noted with a +/- symbol. Only normal industry standard tolerances are acceptable deviations from dimensions indicated. Do not scale drawings. All dimensions noted as "clear" shall maintain the full space indicated without encroachments. All vertical heights indicated are from the finish floor elevation at the base of the item indicated, unless noted otherwise. Where walls, jambs, or other items are noted to "align", the face of items indicated shall be in line with each other to form a straight line, free of offsets or deviations. Field verify all dimensions. Unless noted otherwise, dimensions are actual, not nominal, as follows:

- Columns - from center line to center line
- Interior partitions - from finish face to finish face
- Concrete/ masonry - from finish face to finish face
- Exterior walls - from exterior face to interior finish face of wall

DEFINITIONS & TERMINOLOGY

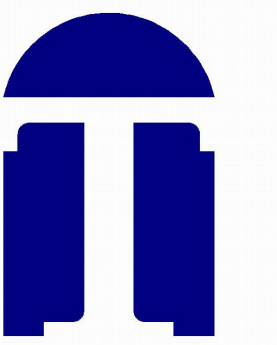
1. "TYPICAL": Unless noted otherwise, means identical for all conditions, which match original condition indicated.
2. "SIMILAR": Means comparable characteristics for the conditions noted. Verify dimensions and orientation of conditions, which vary from typical or similar condition indicated.
3. "OPPOSITE HAND": Means condition is mirror image of detailed referenced.
4. "ALIGN": Means alignment of similar components of construction (walls, jambs, etc.), which are adjacent or the components shall be in line with each other across voids. Dimensions are not adjustable unless noted with plus/minus tolerance.
5. "O.F.O.I.": Means "owner furnished, owner installed"
6. "U.N.O.": Means "unless noted otherwise"
7. "O.F.C.I.": Means "owner furnished, contractor installed"

8. REFERENCES:

All references to contractor shall refer to general contractor and/or subcontractor. All references to the owner shall mean the owner or the owner's agent.

Layout Page Table			
Label	Title	Description	Comments
	Title Sheet	Title Sheet	
	Notes	Notes	
	Site Plans	Site Plans	
	Plan	HVAC Plan	

All work shall comply with the following codes as adopted by the City of Anniston;
2015 International Building Code
2014 National Electrical Code
2015 International Plumbing Code
2015 International Mechanical Code



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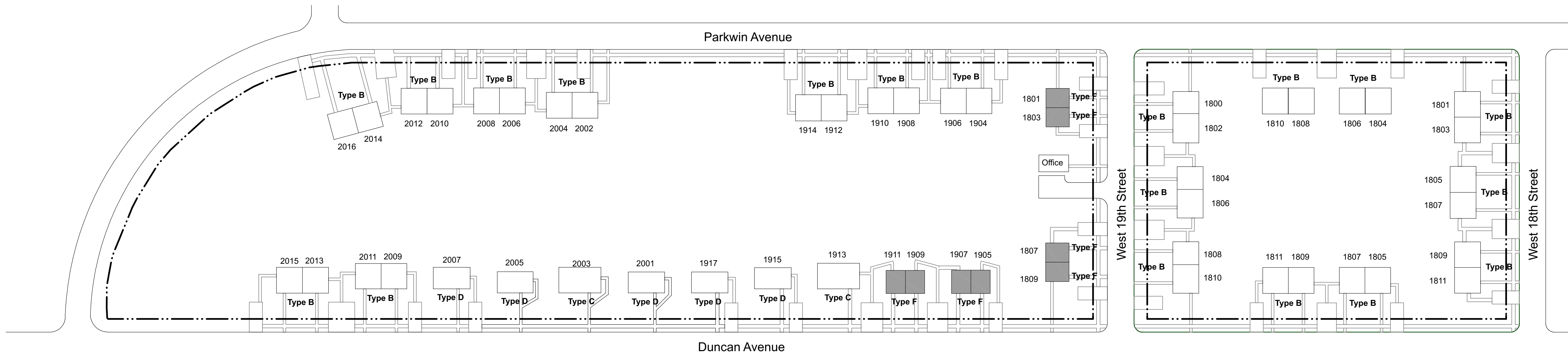
Notes

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Site Plan Parkwin Homes

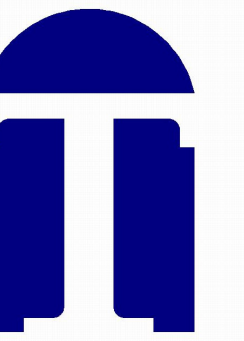
One Bedroom Duplex (only Apartments included in the Contract) **Eight (8) Apartments (this Site)**
 Not in the Contract

Twelve Apartments included in Contract



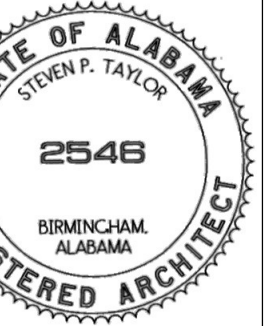
Site Plan Washington Homes

One Bedroom Duplex (only Apartments included in the Contract) **Four (4) Apartments (this Site)**
 Not in the Contract



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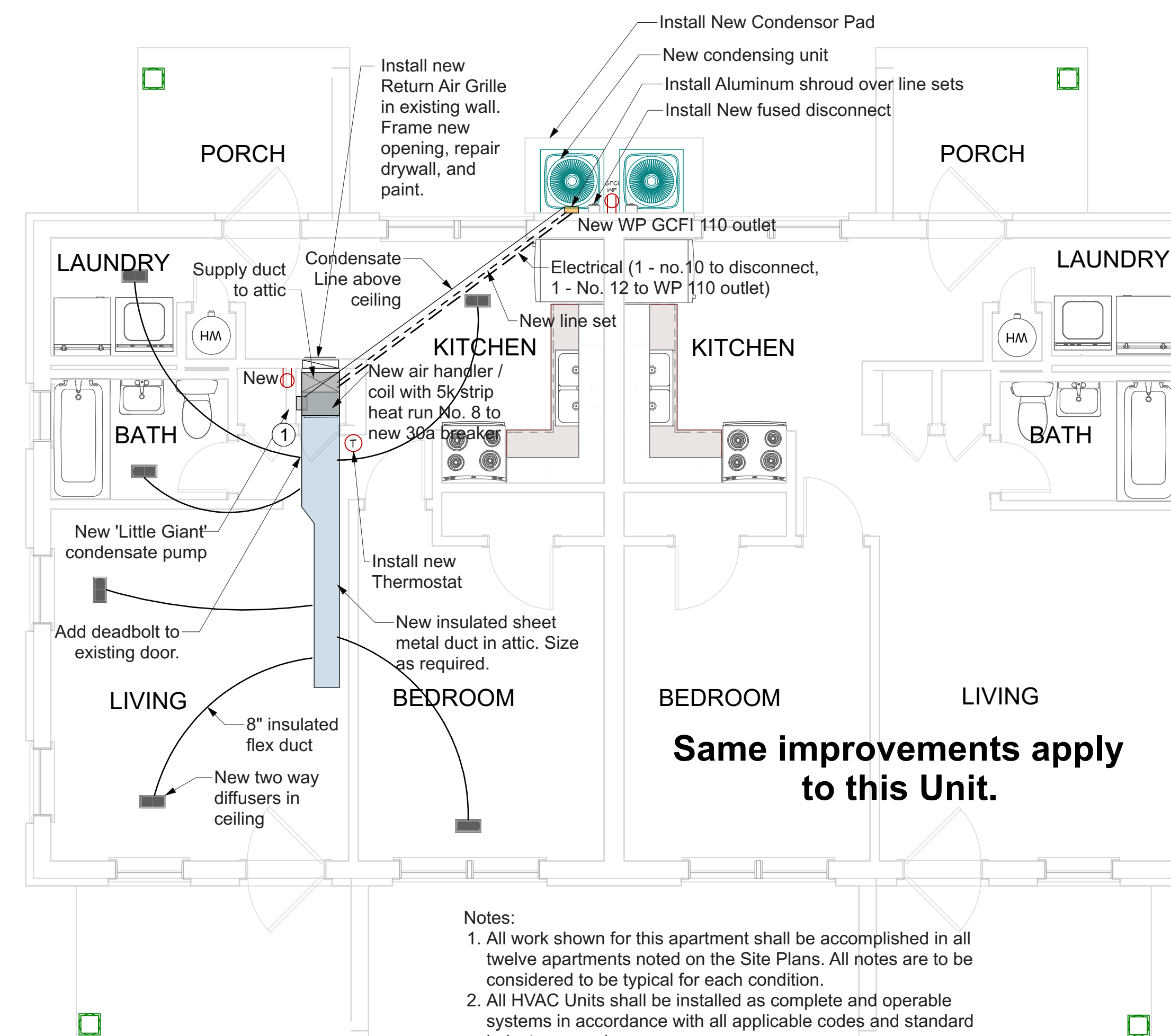
Site Plans

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- Notes:
1. All work shown for this apartment shall be accomplished in all twelve apartments noted on the Site Plans. All notes are to be considered to be typical for each condition.
 2. All HVAC Units shall be installed as complete and operable systems in accordance with all applicable codes and standard industry procedures.
 3. Doors to remain. Install 3/4" deadbolt to the Mechanical Closet.

All work shall be completed in compliance with;
2015 INTERNATIONAL MECHANICAL CODE.

HVAC Plan

HVAC Equipment Schedule

Note: Manufacturers listed below are for scheduling.
Approved equals are Heil and Bryant

Outdoor Heat Pump Unit	25HPB624A003 Carrier - Performance 2 Ton 16 SEER Heat Pump
Air Handler	FMA4X3000AL with 5KW Heat Strips
Thermostat	VIVE-TP-N-701 Non Programmable Large Display Thermostat 1H/1C

HVAC General Notes

- 1 All HVAC units to be complete in every regard.
- 2 HVAC work to comply with International Mechanical Code.
- 3 All Trunklines shall be rigid metal with 1" insulated lining.
- 4 All runouts shall be insulated flex with rigid boots and connectors.
- 5 All vents and pipes penetrating walls shall have metal escutheons.
- 6 All ceiling grills and return grills shall be installed square and uniform.
- 7 All supply grills shall be sized as required to distribute air flow to each space indicated. Reducers and other items shall be provided as required.
- 8 All thermostats shall be located as directed.
- 9 All penetrations from exterior shall be drilled, sleeved. And sealed as required.

All work shall comply with the following codes as adopted by the City of Anniston;
2015 International Residential Code
2014 National Electrical Code
2015 International Plumbing Code
2015 International Mechanical Code
Alabama Residential Energy Code

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HVAC Plan

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